



Inspection Report



American Property Inspections

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Property: , FL	Customer:	Real Estate Professional:
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READ THE INFORMATION BELOW BEFORE READING OR USING ALL OR ANY PORTION OF THE INSPECTION REPORT! Our reports are reviewed by an in house quality control manager. API reserves the right to make changes to this report up to two weeks after reports is produced.

A REPORT SUMMARY CAN BE FOUND AT THE END OF THIS REPORT. THIS SUMMARY IS PREPARED AND INCLUDED SOLELY AS A COURTESY TO THE CUSTOMER TO PROVIDE A GENERAL OVERVIEW OF SOME OF THE CONDITIONS WHICH ARE DOCUMENTED IN THE FULL INSPECTION REPORT. IT IS NEITHER INTENDED AS NOR TO BE CONSIDERED OR CONSTRUED AS ANY SORT OF RECOMMENDATIONS FOR NEGOTIATIONS BETWEEN American Property Inspections, CUSTOMER AND OTHER PARTIES NOR IS IT A TACIT ENDORSEMENT OF THE CONDITION OF COMPONENTS OR FEATURES NOT CONTAINED IN THE SUMMARY.

THE FULL INSPECTION REPORT MAY INCLUDE ADDITIONAL INFORMATION OF CONCERN TO THE CUSTOMER WHICH IS NOT CONTAINED IN THE REPORT SUMMARY. (American Property Inspections) IS NOT A PARTY TO ANY CONTRACTS OR AGREEMENTS BETWEEN THE CUSTOMER AND ANY THIRD PARTIES; THEREFORE, (American Property Inspections.) CANNOT AND WILL NOT PROVIDE ANY ADVICE OR DIRECTION PERTAINING TO THE USE OF ANY INFORMATION IN THE INSPECTION REPORT WITH REGARD TO SUCH CONTRACTS.

A HOME INSPECTION REPORT GLOSSARY IS INCLUDED WITH THIS HOME INSPECTION REPORT. ALL TERMS WHICH ARE DEFINED IN THE GLOSSARY WILL BE CAPITALIZED AND IN BOLD PRINT WHEN THEY APPEAR IN THE HOME INSPECTION REPORT. CUSTOMERS ARE ENCOURAGED TO REFER TO THE HOME INSPECTION REPORT GLOSSARY IF THEY DESIRE ADDITIONAL CLARIFICATION OF THESE TERMS.

A HOME INSPECTION IS A "SNAPSHOT IN TIME" AND ONLY DOCUMENTS SPECIFIC CONDITIONS WHICH ARE DETERMINABLE AT THE TIME OF THE INSPECTION. (American Property Inspections) CANNOT PREDICT FUTURE CONDITIONS AND IS NOT RESPONSIBLE FOR ANY CONDITION AFFECTING ANY SYSTEM OR COMPONENT WHICH OCCURS SUBSEQUENT TO THE INSPECTION OR WHICH IS INTERMITTENT AND/OR OTHERWISE NOT DETECTABLE OR DETERMINABLE AT THE TIME OF THE INSPECTION.

THE CUSTOMER IS STRONGLY URGED TO READ THE ENTIRE REPORT AND TO CONSULT WITH ALL APPROPRIATE REPRESENTATIVES OR OTHER PARTIES AS SOON AS POSSIBLE SUBSEQUENT TO THE INSPECTION TO DETERMINE IF ANY INFORMATION CONTAINED IN THE REPORT MAY PERTAIN TO OR AFFECT CONTRACTS WITH OTHER PARTIES BEFORE MAKING ANY DECISIONS WHICH MAY BE AFFECTED BY THE INFORMATION CONTAINED IN THE FULL REPORT. ONLY BY READING THE ENTIRE REPORT CAN THE FULL BENEFIT OF THE INSPECTION AND REPORT BE OBTAINED.

THIS REPORT IS PREPARED SOLELY ON BEHALF OF AND FOR THE EXCLUSIVE USE OF THE CUSTOMER FOR WHOM THIS INSPECTION WAS PERFORMED. NO THIRD PARTIES HAVE ANY RIGHTS TO OR ARISING FROM THIS INSPECTION AND REPORT.

(American Property Inspections) SHALL NOT RELEASE COPIES OF THIS INSPECTION REPORT TO ANYONE OTHER THAN THE CUSTOMER AND THEIR REALTOR REPRESENTED IN THIS TRANSACTION. IF CUSTOMER'S DISTRIBUTE COPIES OF THIS REPORT TO ANY THIRD PARTY SHALL BE AT CUSTOMER'S RISK.

An Inspection Report Glossary is included with this Inspection Report. To assist Customers in understanding certain glossary terms which may appear in the body of this Inspection Report, those terms, while included in the full glossary at the end of this report, are also listed and defined below.

ACTION RECOMMENDED: It is strongly recommended that further evaluation and any necessary corrections or modifications be performed by a QUALIFIED individual, technician, or contractor as soon as possible. If such evaluation reveals other ADVERSE CONDITIONS for which modifications or corrective measures are also deemed necessary, it is recommended that they be addressed by a QUALIFIED individual at that time

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ADVERSE CONDITION: A condition which is producing a detrimental effect on SYSTEMS or COMPONENTS, impairing their NORMALLY INTENDED FUNCTION or OPERATION, or which is not consistent with GENERALLY ESTABLISHED PRACTICES.¹

ATYPICAL: Not typical, not conforming to the type, irregular; or abnormal.

ELECTIVE MODIFICATION: Regarding a SYSTEM or COMPONENT which, when provided, is done solely as a courtesy to Customers for their consideration as part of any upgrading and maintenance program they may choose to implement. ELECTIVE MODIFICATION conditions are not ADVERSE CONDITIONS. ELECTIVE MODIFICATIONS should be performed by QUALIFIED individuals in accordance with all applicable industry standards and governmental requirements.

GENERALLY ESTABLISHED PRACTICES: Of or pertaining to any one or more of the following: historically/conventionally applied and acknowledged materials, practices, methods, means of installation, assembly, or operation.
: Not consistent with applicable GENERALLY ESTABLISHED PRACTICES.

INSPECTED: The SYSTEM or COMPONENT was EXAMINED and no ADVERSE CONDITIONS were observed.

NORMALLY INTENDED FUNCTION OR OPERATION: The customary and conventional purpose or use for which a SYSTEM or COMPONENT is installed and for which it is designed and intended by its manufacturer.

NOT APPLICABLE: The specified SYSTEM or COMPONENT was not present or it was outside the contractual scope of inspection.

NOT EXAMINED: The specified SYSTEM or COMPONENT was not visually evaluated because it was not READILY ACCESSIBLE due to weather, landscaping, personal property, pets, factors beyond the inspector's control, and/or factors beyond the contractual scope of inspection. When the Inspection Report indicates that a specific a SYSTEM or COMPONENT could not be visually evaluated, the Inspection Report will also indicate the specific reason(s).

QUALIFIED: Having the training, skills, knowledge, expertise, and experience necessary to competently address the referenced condition(s) and, where required, holding all applicable licenses, and meeting all applicable governmental and statutory requirements.

ROUTINE MAINTENANCE: Requiring minor and typical maintenance. It is recommended that all ROUTINE MAINTENANCE conditions be addressed before additional wear and tear or deterioration occur. After addressing ROUTINE MAINTENANCE conditions it is recommended that COMPONENTS associated with such conditions be periodically reexamined as part of an ongoing, prudent overall property and building No SYSTEMS maintenance program.

Potential costs which may be associated with additional evaluation of an ADVERSE CONDITION or with any modifications or corrective measures which may be deemed necessary to address an ADVERSE CONDITION are not factors and are not considered by the inspector when ACTION RECOMMENDED is indicated for any ADVERSE CONDITION.

In Attendance:
Buyers Agent, Customer

Type of building:
Residential

Approximate age of building:
31 years

Temperature:
65-85 degrees

Weather:
Sunny and dry

Ground/Soil surface condition:
Normal

Rain in last 3 days:
No

Other Services Performed::
Wdo, Wind Mitigation, 4 Point (Insurance)

FULL INSPECTION REPORT

1. Roofing

Scope of Inspection: Inspection of exterior elements is limited to readily visible elements. This inspection is visual and non intrusive. **Elements and areas concealed from view for any reason cannot be inspected. This includes all areas above cathedral ceilings and all areas inside soffit's and eaves, including areas inside attic within 3 feet of the Fascia.** The verification of roofing materials, roof age, and/or compliance with manufacturer installation requirements is not within the scope of a standard home inspection. This inspection does not give a warranty or guarantee that roof does not have active leaks present. Active leaks can only be definitive if inspector actually sees water penetrating roof or interior of residence. If any evidence of roof leaks are present, such as water stains or visible damage to roof, attic, ceilings or walls, It is clients responsibility to hire a licensed roofer to further investigate, perform leak testing, and or repair roofing before clients take possession of residence. Inspector or American Property Inspections (API) is not liable for leakage before, during or after the inspection. Furthermore, API does not warranty nor is to be held liable for future leaks due to condition of home's roof exterior whether it was disclosed or undisclosed on inspection report. API is not to be held liable for any wood decay or defects of any kind that are not readily visible from exterior or interior of roof. If a radiant barrier is present at bottom of decking or bottom of upper truss cords, API discloses that all decking is NOT visible and not subject to inspection.

Note: All roofs have a finite life and will require replacement at some point. In the interim, the seals at all roof penetrations and flashings and the water tightness of roof top elements, should be checked periodically and repaired to maintained as required. Any roof effects can result in leakage, mold and subsequent damage. Conditions such as hail damage, manufacturing defects, or the lack of roof under layment or proper nailing methods are not readily detectable during a home inspection, but may result in latent concerns. Gutters and downspout's will require cleaning. All chimneys, plumbing stacks and vents should be checked periodically. Fascia behind gutters are not readily assessable to inspectors and are not within a typical home inspection. Inspectors are NOT required to walk the roof if poor weather or other safety issues are present. Any and all unsafe conditions are the soil opinion of the inspector.

When conditions for which **ACTION RECOMMENDED** is indicated in this section of the report are not addressed, it may increase the potential for moisture-related foundation and structural damage, access by pests and vermin, and damage to and/or accelerated deterioration of other exterior and interior foundation **COMPONENTS** as well as for personal injury.

Roof Covering:
Architectural Shingles

Viewed roof covering from:
Walked roof

Skylight(s):
None

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Typical Estimated Life Expectancy of Roof Materials, according to the National Association of Certified Home Inspectors. If a roof permit is not found, it should be assumed that the roof age is same age as date of home build, unless otherwise noted in 1.1 Roof Coverings.

<u>Roofing Material</u>	<u>Life Expectancy (depending on year of installation)</u>
3 tab Shingles	15 years
Architectural Shingles	20-25 years
Tile/Clay/Ceramic	20-25 years
Metal	30+ years
Modified BUR	15-20 years
Membrane	20-25 years

1.1 Roof Coverings

Comments: INSPECTED

Roof Permit # 2017070145 Dated: 07/06/2017

Estimated age of roof: 6 years Estimated life remaining in roof coverings: 13-18 years



pictures of roof material



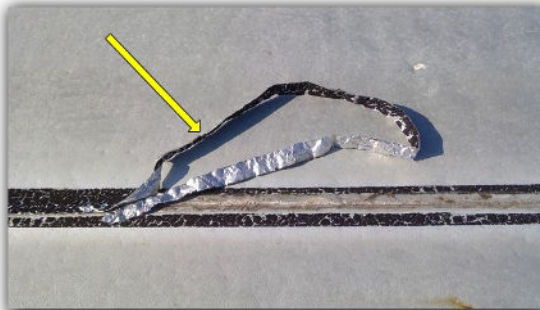
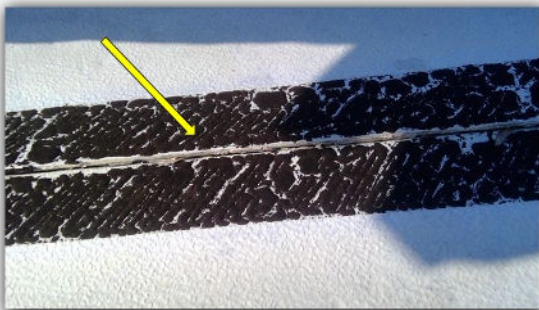
pictures of roof materials



pictures of roof materials



close up view of roof materials



Seams have deteriorated/damaged at rear metal roof over porch. This will allow water intrusions, water marks are visible at rear porch ceiling . Requires repair by a licensed roofer.

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Debris and tree branches on roof at rear right. Requires removal.



Gap is not present between roof and lower portion of wall at front. There should be gap of at least 1 1/2 inches between the bottom of the exterior wall covering material and the top of the roof covering material to prevent water intrusion and/or decay of wall material.

1.2 Flashings

Comments: INSPECTED-limited- Drip edge, kick out flashing visible only

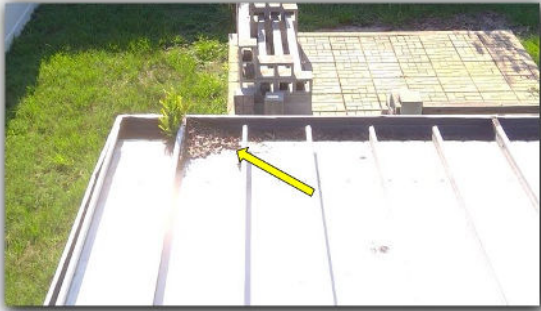
1.3 Skylights, and Roof Penetrations

Comments: INSPECTED

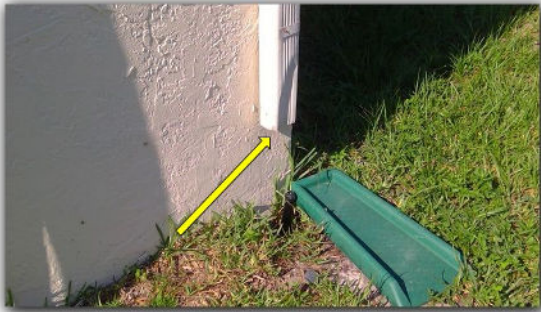
1.4 Roof Drainage Systems (Gutters and Downspouts)

Comments: INSPECTED-defective

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Gutters are full of debris at rear. Requires cleaning of gutters to ensure proper drainage.



Downspout return is missing or damaged located at front left corner. Requires repair or replacement.

1.5 Roof Decking

Comments: INSPECTED

FULL INSPECTION REPORT

2. Exterior

Scope of Inspection: Inspection of exterior elements is limited to readily visible and accessible outer surfaces of the house envelop and appurtenances as listed herein; **elements concealed from view by any means can not be inspected.** These elements are subject to the effects of both long term wear and sudden damage due to ever changing weather conditions. Descriptions are based on predominant representative elements and are provided for general informational purposes only. Neither the efficiency of accessories such as storm doors, screens, shutters, locks and other attachments or decorative items are not included, unless specifically noted. Additional information on exterior elements, particularly windows, doors and the foundation may be provided under other headings in the report.

Note: All surfaces of the exterior envelope of the house should be inspected at least semi-annually, and maintained as needed. Any exterior element defect can result in leakage and/or subsequent damage. Exterior wood elements and wood composites are particularly susceptible to water-related damage, including decay, insect infestation, and or mold. The use of properly treated lumber or alternative products help minimize these concerns, but will not eliminate them all together. While some areas of decay or damage may be reported, additional areas of concern may become apparent as they occur, spread, or are discovered during repair or maintenance work. Should you wish advice on any new or uncovered area of deterioration, please contact American Home Services directly. Periodically caulking and re-sealing of all gaps and joints will be required. Insulation window, door units are subject to seal failure, which could ultimately affect the transparency and or function of the window.

When conditions for which **ACTION RECOMMENDED** is indicated in this section of the report are not addressed, it may increase the potential for moisture-related foundation and structural damage, access by pests and vermin, and damage to and/or accelerated deterioration of other exterior and interior foundation **COMPONENTS** as well as for personal injury.

Siding Material:
Stucco, Brick

Porches Patios
Covered Porch

Sidewalks Decks:
Concrete

Driveway:
Concrete



Front Elevation



Right Elevation



Rear Elevation



Left Elevation

2.1 Wall Cladding, Flashing and Trim

Comments: INSPECTED-defective



Wood decay is present on siding and fascia at rear right. Wood decay is a species of fungus that digests moist wood, causing it to rot. All decayed wood requires replacement with new wood. Water and moisture damage may be present in walls or structures that are not visible to the inspector without further intrusional inspections.



Kick out flashing is not present at rear right. Kick outs redirect water away from flashing's, stucco and siding eliminating possible water intrusion or wear of the stucco or siding. Recommend they be installed in this location.

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2.2 Doors (Exterior)

Comments: INSPECTED

2.3 Windows

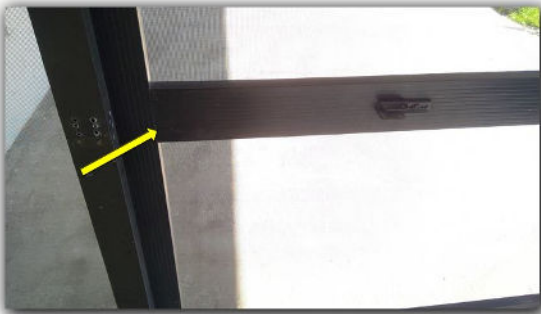
Comments: INSPECTED-defective



Window does not have screen present at right. Requires installation of screen to prevent insect intrusions.

2.4 Porches, Decks, Balconies, Stoops, Steps, Areaways, Patio/Cover and Applicable Railings

Comments: INSPECTED-defective



Door closer is missing at rear porch door. Recommend installation.

2.5 Driveways, Vegetation, Grading, Walkways

Comments: INSPECTED-defective



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Settling cracks are present in driveway. These cracks are not considered structural. Sealing cracks may be a viable option to preventing any type of possible water intrusions.

2.6 Eaves, Soffits and Fascias

Comments: INSPECTED-defective



Gap is present at left side eave. This may allow rodent and insect intrusions. Recommend sealing areas.

2.7 Additional Buildings on Property

Comments: NOT EXAMINED-outside scope of this inspection.



2.8 Irrigation System

Comments: INSPECTED-defective



Irrigation did not respond to controller. Requires further investigation and/or repair by a licensed irrigation contractor.

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2.9 Other

FULL INSPECTION REPORT

3. Electrical System

Scope of Inspection: Inspection of electrical systems is limited to readily visible elements. Wiring and other components concealed from view for any reason can not be inspected. Switches and receptacles are NOT opened. It is not within the scope of a home inspection to identify the function of every switch and receptacle. Nor is it possible to identify every possible wiring material and type or conditions and concerns that may be present. Inspection of ground fault circuit interrupters is limited to the built in test functions. Arc fault circuit testing is limited to the built in test buttons. No assessment can be made of electrical loads, system requirements or adequacy, circuit distribution or accuracy of circuit labeling. Auxiliary items and electric elements such as surge protectors, lighting protection systems, generators, security or safety systems, home entertainment and communications systems, structured wiring systems, low voltage wiring, and site lighting are not within the scope of this inspection. Smoke detectors are NOT tested for function. These above inspections and testing must be performed by a licensed electrician. If the above testing is required, we recommend hiring a licensed electrician.

Note: Older electric service may be minimally sufficient or inadequate for present or future needs. Service line clearance from trees and other objects must be maintained to minimize the chance of storm damage. The identification of inherent electric panel defects or latent conditions is not with the scope of a home inspection. It is recommended to that aluminum wiring systems be inspected by a licensed electrician to confirm all connections are acceptable. Gfci's are recommended to be installed in all wet areas, such as kitchens, bathrooms, garage and exterior if they are not installed the current residence. AFCI's are recommend to be installed in all bedroom circuits if not currently present. Testing of all GFCI's and AFCI's should be conducted on a regular basis. Any electrical defects or capacity, distribution concerns should be evaluated and repaired by a licensed electrician.

Note: When conditions for which **ACTION RECOMMENDED** is indicated in this section of the report are not addressed, it may increase the potential for electric shock, electrocution, overheating of electrical **SYSTEM COMPONENTS**, fire, and damage to and/or accelerated deterioration of electrical **COMPONENTS** and other exterior and interior **COMPONENTS** as well as for personal injury.

Service Disconnect Location:
Left Wall

Main Distribution Panel Location:
Garage Wall

Dryer Power Source:
220 Electric, Gas Connection

Service Disconnect Panel Type:
General Electric

Main Distribution Panel Type:
General Electric

Panel capacity:
150 AMP

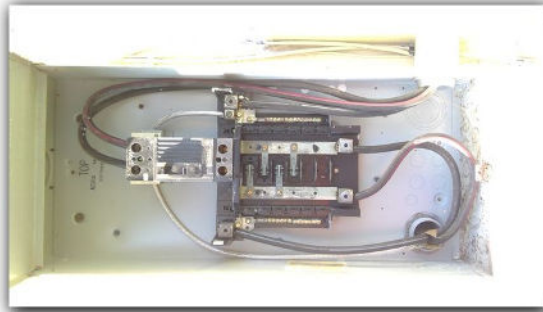
Over Current Protection:
Circuit Breakers

Electrical Service Conductors:
Aluminum

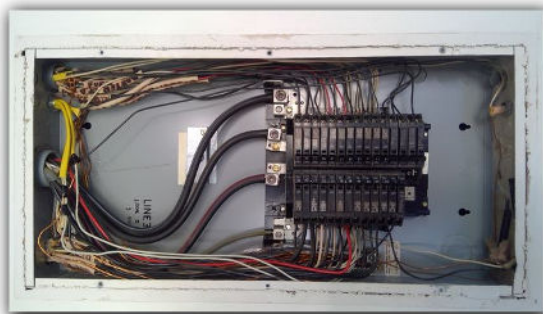
Branch wire 15 and 20 AMP:
Copper

Service Conductor Size (Amps):
150

Wiring Methods:
Romex



Service Disconnect



Distribution Panel

3.1 Service Entrance Conductors

Comments: INSPECTED

3.2 Service and Grounding Equipment

Comments: INSPECTED

3.3 Main Disconnect Panel

Comments: INSPECTED

3.4 Distribution Panel

Comments: INSPECTED

3.5 Connected Devices and Fixtures

Comments: INSPECTED-defective

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Fan/light did not operate using remote control in primary bedroom. Possible dead battery at remote. Recommend further evaluation by a licensed electrician.

3.6 Receptacles/Switches

Comments: INSPECTED

3.7 GFCI (Ground Fault Circuit Interrupters)

Comments: INSPECTED

3.8 Smoke/Carbon Monoxide Detectors

Comments: PRESENT, Not Inspected for function

Note: Smoke detectors/carbon monoxide detectors are not tested for function. All detectors should be replaced if older than five years of age.

FULL INSPECTION REPORT

4. Garage

Scope of Inspection: Inspection of the house interior is limited to readily accessible and visible elements. Elements and areas that are inaccessible or concealed from view by any means can not be inspected. Door and window evaluations are based on a random sampling of representative units. It is not possible to confirm safety glazing or the efficiency and integrity of insulated window/door units. Security systems, home entertainment or communication systems, telephone lines, central vacuums, and similar components are not with the scope of this inspection.

Note: When conditions for which **ACTION RECOMMENDED** is indicated in this section of the report are not addressed, it may increase the potential for compromising the effectiveness of protective features of automatic garage vehicle door operator equipment, and of separation assemblies between the garage and interior living spaces as well as for personal injury.

Garage Door Type(s):
One Automatic

Garage Door Material:
Metal



4.1 Garage Ceilings

Comments: INSPECTED

4.2 Garage Walls

Comments: INSPECTED

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4.3 Garage Floor

Comments: INSPECTED

4.4 Garage Door(s)

Comments: INSPECTED-defective



Overhead door is damaged at top middle. Requires repair/replacement.

4.5 Occupant Door (from garage to inside of home)

Comments: INSPECTED

4.6 Garage Door Operators

Comments: INSPECTED-operational

4.7 Garage Door Sensors

Comments: INSPECTED-defective



Door sensors are not mounted at a proper height. Door sensors should be relocated between 4-6" from floor level.

FULL INSPECTION REPORT

5. Interiors

Scope of Inspection: Inspection of the house interior is limited to readily accessible and visible elements. Elements and areas that are inaccessible or concealed from view by any means can not be inspected. Door and window evaluations are based on a random sampling of representative units. It is not possible to confirm safety glazing or the efficiency and integrity of insulated window/door units. Security systems, home entertainment or communication systems, telephone lines, central vacuums, and similar components are not within the scope of this inspection.

When conditions for which **ACTION RECOMMENDED** is indicated in this section of the report are not addressed, it may increase the potential for the compromising protective features, for damage to and/or accelerated deterioration of other exterior and interior **COMPONENTS** as well as for personal injury.

Ceiling Materials:

Gypsum Board

Wall Materials:

Gypsum Board

Floor Covering(s):

Carpet, Tile, Wood, Laminated

Window Types:

Double Pane, Single Pane, Single Hung, Sliders

Number of Bedroom(s): 3

Number of Bathroom(s): 2

5.1 Ceilings

Comments: INSPECTED

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5.2 Walls

Comments: INSPECTED

5.3 Floors

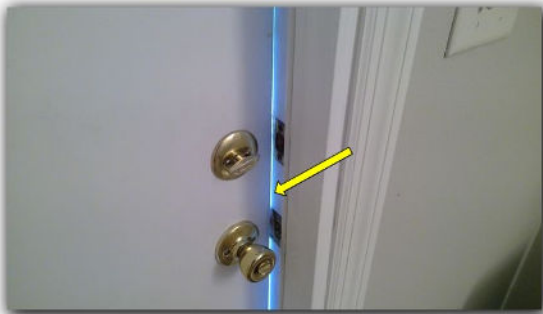
Comments: INSPECTED

5.4 Steps, Stairways, Balconies and Railings

Comments: Not Present

5.5 Doors

Comments: INSPECTED-defective



Rear guest bathroom door to rear porch rubs on jamb. Requires repair.

5.6 Interior of Windows

Comments: INSPECTED

5.7 Built in Cabinets

Comments: Not Present

5.8 Mouldings

Comments: INSPECTED

5.9 Other

Comments: NOT EXAMINED



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Note: Inspector could not examine operation of washer and dryer. Appliances were not connected at time of inspection.

FULL INSPECTION REPORT

6. Plumbing System

Scope of Inspection: Inspection of plumbing and drainage systems is limited to readily visible elements. Elements concealed from view or are not functional for any reason at the time of inspection can not be inspected. It is NOT within the scope of a home inspection to include evaluation of the adequacy or capacity of hot water supply systems. It is NOT within the scope of a home inspection to inspect saunas, steam baths, solar heating systems, well pumps or filtrations systems or sump pumps for function. If these areas require inspection a licensed plumber or well company should be used to inspect such items before inspection time limits are done.

Note: Maintain hot water supply temperatures at no more than 120 degrees. High temperatures may cause scalding. Anti scald devices are available as and added safety measure. Gas water heaters generally should be positioned a minimum of 18 above floor level when located in the garage, unless the water heater has a "sealed" ignition chamber. Refer to manufacture installation instructions for clarity. Adequate clearances to combustibles must also be maintained around the unity and any vents. A licensed plumber or specialist should perform all water heating system repairs.

When conditions for which **ACTION RECOMMENDED** is indicated in this section of the report are not addressed, it may increase the potential for moisture damage, cross-connections, waste leaks, the introduction of sewer gas and/or water heating **SYSTEM** combustion by-products into the interior environment, for damage to and/or accelerated deterioration of plumbing **COMPONENTS** and other exterior and interior **COMPONENTS** as well as for personal injury.

Main Water Shutoff Location:
Exterior-Front

Water Supply: (meter to house)
Not visible

Plumbing Water Distrb. (inside)
CPVC

Plumbing DWV Material(s):
PVC, Not Visible, PVC

Water Heater Energy Source:
Gas

Water Heater Location
Garage

Water Heater Capacity:
50 Gallon

Water Heater MFG. Date:
2013

Back flow valve present:
Yes



Overall view of Water Heater



Main Supply Lines



Water Heater Manufacturing Date



Pvr Valve Present



Drainage Lines



Sink Valves



Main Shut Off Valve



Water Temperature 110



Washer Drain



Back Flow Valve

6.1 Plumbing Drain, Waste and Vent Systems

Comments: INSPECTED

6.2 Plumbing Water Supply, Distribution System and Fixtures

Comments: INSPECTED

Note: Water supply valves servicing the sinks and toilets are not operated. These valves, oftentimes when operated will begin to leak. Since we are not plumbers, we do not carry the necessary equipment to fix any leaks. Inspectors run their hand along and around the valves to make sure they are not leaking at the time of the inspection. It is your responsibility to hire a plumber to test these valves manually before the purchase of this property.

6.3 Hot Water Systems, Controls, Chimneys, Flues and Vents

Comments: INSPECTED-operational



Pressure relief valve (PRV) is not plumbed to the floor or drip pan. A heat tolerate piping material is required to be installed from the prv to the floor or drip pan within 4 inches, to prevent damage or injury. Requires repair by a licensed plumber.

Based on the manufacturer's suggested service life, the life expectancy of a water heater is 6 to 10 years. That varies with the location and design of the unit, quality of installation, maintenance schedule and water quality. In addition, water heaters that are older than 10 years of age may not be insurable. If a water heater is older than 10 years it is recommended to have them replaced.

6.4 Main Water Shut-off Device

Comments: PRESENT, Not Inspected for function

6.5 Other

Comments: INSPECTED-defective



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Note: It appears that several hose bibs at exterior have been abandoned. Possibly due to entire home re pipe. Recommend further evaluation by a licensed plumber.

FULL INSPECTION REPORT

7. Structural Components

Scope of Inspection: Inspection of structural elements is limited to readily visible and accessible outer surfaces of the house envelope and appurtenances as listed herein: elements concealed from view by any means can not be inspected. These elements are subject to the effects of both long term wear and sudden damage due to ever changing weather conditions. Descriptions are based on predominant representative elements and are provided for general information purposes only. Neither the efficiency of accessories such as storm door, screens, shutters, locks and other attachments or decorative items are not included, unless specifically noted.

Note: All surfaces of the structural envelope of the house should be inspected at least semi-annually, and maintained as needed. Any structural defect can result in leakage and or subsequent damage. Exterior wood elements and wood composites are particularly susceptible to water related damage, including decay, insect infestation, or mold. The use of properly treated lumber or alternative products help minimize these concerns, but will not eliminate them all together. While some areas of decay or damage may be reported, additional areas of concern may become apparent as they occur, spread, or are discovered during repair or maintenance work. Should you wish advice on any new or uncovered area of deterioration, please contact American Home Services directly. Periodic inspection of all structural elements is recommended.

When conditions for which **ACTION RECOMMENDED** is indicated in this section of the report are not addressed, it may increase the potential for moisture-related foundation and structural damage, access by pests and vermin, and damage to and/or accelerated deterioration of other exterior and interior foundation **COMPONENTS** as well as for personal injury.

Foundation Material(s): Slab	Method Used To Observe Crawlspace: No Crawlspace	Exterior Wall Structure: Masonry
Roof Structure: Truss Assembly	Floor Structure: Slab	
Roof-Type: Gable, Hip	Method Used To Observe Attic: Scuttle Hole	Columns or Piers: N/A

7.1 Foundations, Basement and Crawlspace

Comments: INSPECTED

7.2 Walls

Comments: INSPECTED

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7.3 Columns or Piers

Comments: N/A

7.4 Floors

Comments: Not Visible

7.5 Ceilings

Comments: INSPECTED

7.6 Roof Structure and Attic

Comments: INSPECTED



Location: Garage

FULL INSPECTION REPORT

8. Insulation and Ventilation

Scope of Inspection: Inspection of attics and crawl spaces are **limited to readily available and accessible elements**. Due to design and accessibility constraints such as insulation, storage, finished attic surfaces, roofing products, etc., many elements and areas, including major structural components, are often at least partially concealed from view and can not be inspected. A typical home inspection does not include the evaluation of the adequacy of thermal values, energy efficiency of any insulation, the integrity of vapor retarders or the operation of thermostatically controlled fans. Any reference given to R-value is strictly an estimate given as an opinion of inspector and does not guarantee accuracy. Furthermore, identification of materials can not be identified as 100% without further investigation by certified laboratory.

Note: Attic heat & crawl space, moisture levels, and ventilation conditions are subject to change. All attics and crawl spaces should be monitored to any leakage, moisture buildup or other concerns. Any comments on insulation levels and/or materials are for general information purposes only and were not verified by a laboratory. A complete check of the attic should be conducted after closing to ensure all non-permanent limitations/structures are removed. Any stains/leaks may be due to numerous factors, verification of the cause or status of all condition is NOT possible, and requires specialists in their respective fields to further investigate and/or repair.

When conditions for which **ACTION RECOMMENDED** is indicated in this section of the report are not addressed, it may increase the potential for thermal loss, moisture-related damage and/or accelerated deterioration of roof covering materials including, but not limited to, roof decking, roof structural members, thermal insulation, attic **COMPONENTS**, and other exterior and interior **COMPONENTS** as well as for personal injury.

Attic Insulation:
Blown and Batt Fiberglass

Ventilation:
Off Ridge Vents, Soffit Vents

Exhaust Fans
None

Dryer Vent:
Flexible Metal

Floor System Insulation:
None

Note: It is NOT within the scope of a Home Inspection to identify Rodent feces or any activity of rodents. This must be performed by a licensed Pest Control Company.

For your reference the following Statute is from the Department of Agriculture and Consumer Services:

State Statue 482.165 Unlicensed practice of pest control; cease and desist order; injunction; civil suit and penalty.--

(1) It is unlawful for a person, partnership, firm corporation, or other business entity not licensed by the department to practice pest control.

Pest Control includes inspection of a property.

When a home inspector verbally communicates to any participate in a real estate transaction whether or not evidence of WDOs or GHP were viewed, he or she has performed a WDO or GHP inspection Whether or not a fee is charged or received and a report is or is not provided is immaterial. A inspection has been performed and a conclusion rendered. Maximum fine \$5000. Any real estate agent who is aware of this activity is complicit in supporting the unlicensed activity.

American Property Inspections Home Inspectors are licensed in the category of WDO but not in GHP, therefore it is not legal or within the scope of a Home Inspection to identify Rodent feces or any activity of rodents as per the State Of Florida.

However, since rodents have been known to enter attics in gaps and crevices that are within industry standards, we recommend that an inspection by a pest control company should be performed before closing on the home.

8.1 Insulation in Attic

Comments: INSPECTED



Insulation on horizontal areas



Insulation on vertical attic walls

8.2 Ventilation of Attic and Foundation Areas

Comments: INSPECTED

8.3 Venting Systems (Kitchens, Baths and Laundry)

Comments: INSPECTED

8.4 Other

FULL INSPECTION REPORT

9. Heating / Cooling

Scope of Inspection: Inspection of heating/cooling systems is limited to readily visible elements. Elements concealed from view or not functional for any reason cannot be inspected. It is NOT within the scope of a home inspection to include a heat gain analysis, cooling design or adequacy evaluation, energy efficiency assessment, installation compliance check, or refrigerant issues. Furthermore, add on components such as electronic air cleaners, ZONED systems and their control panels are NOT inspected. The functional check of cooling systems is limited to the **operation of a basic cycle or mode and excludes the evaluation of thermostatic controls, timing devices, analysis of distribution system flow or operation of full system features.** The inspector or American Property Inspections (API) does NOT warranty or guarantee continued functionality or comfort ability of the system at any time before, during or after inspection.

Note: Regular maintenance of your heating and cooling system is important. The older the unit the more probability of failure. Condensation lines and pumps if present should be checked once a month and cleaned properly. All condensation lines should be dripping when cooling system is running. The outdoor compressor should be pumping cool air in heat mode, and hot air in cool mode. Cooling comfort may vary depending on house design, system design and other determining factors such as insulation or lack of insulation, sun light, size of duct works, etc. System should be inspected and/or serviced and cleaned every six months. In addition the filter should be changed once per month.

When conditions for which **ACTION RECOMMENDED** is indicated in this section of the report are not addressed, it may increase the potential for compromising the effectiveness of protective features, overheating, damage and/or deterioration of HVAC **SYSTEM COMPONENTS**, the introduction of HVAC **SYSTEM**, moisture damage, and loss of **SYSTEM** refrigerant, and for damage to and/or accelerated deterioration of A/C and evaporative cooling **COMPONENTS**, other exterior and interior **COMPONENTS** as well as for personal injury.

Heat Type:
Forced Air / Central

Energy Source:
Gas

Number Of Heat Systems (Excluding Wood)
One

Cooling Equipment Type:
Central - Air conditioner

Cooling Equipment Energy Source:
Electric

The scope of an Hvac Inspection is not as in depth as one performed by a licensed Hvac contractor. To see the limitations of this inspection, see above "scope of Inspection" at top of page, and refer to State of Florida Standards of Practice 61-30.804 Standards of Practice, HVAC Systems. If you wish to have the system leak tested and/or an inspection by a licensed hvac company, that can be arranged by calling the main office of American Property Inspections. .

It is highly recommended to have your system cleaned and ducts scrubbed upon acceptance of your new home to eliminate any mold growth or soiling that may cause health conditions.

Hvac systems break down more than any other systems of your home. Your inspector can not predict when or how a system may fail.

One of the most frequent expenses new homeowners face is hvac repairs or replacement. It is highly recommended that you buy a home warranty to help mitigate any repairs that you may encounter in your first year of home ownership. Visit www.floridawarrantyprotection.com to purchase your home warranty.

HVAC REPAIRS: BUYERS BEWARE!! If an hvac contractor is employed to clean your system or perform routine maintenance, often times they will try to sell you a new hvac system. They generally will use two reasons to justify

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replacing the system!! If you would like recommendations of hvac companies that we trust and refer, please call our office.

1. Your systems are heavily soiled, compacted, and/or mold growth etc., It is better to have a new system. NOT true! Almost always, a system can be cleaned, not replaced..

2. Your freon is leaking, and it is not repairable. If your hvac contractor informs you of this, then ask them to show you with a freon leak detection device that the system is leaking. Freon is one of the most expensive repairs due to the cost of the freon.

Both of these conditions are repairable without replacing the unit. Feel free to contact us for advice if this situation arises.

Items

System One



mfg date of compressor 2014

mfg date of air handler 2015

Note: The typical life expectancy of the average system is 10-15 years. However, many home owners will replace their systems after 10 years to achieve a higher efficiency rating. If your system is over 10 years it should be considered at the end of its life expectancy and replaced.

9.1 Heating Equipment

Comments: INSPECTED-operational

Temperature differentials of heating system of system one:



Temperature of supply air 113



temperature of return air 78

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9.2 Thermostat

Comments: INSPECTED-operational



Location: Front dining area wall.

9.3 Filter

Comments: INSPECTED



9.4 Distribution Systems (Ducts)

Comments: INSPECTED



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Hvac duct in attic, next to access in garage is in worn condition. Requires repair or replacement by a licensed hvac contractor.

9.5 Flues and Vents/appliances

Comments: INSPECTED

9.6 Cooling and Air Handler Equipment

Comments: INSPECTED-operational

Temperature differentials of cooling system of system one:



Temperature of supply air 58



temperature of return air 70



Air handler has possible mold growth on duct work. Recommend mold remediation in this area and resealing of ductwork.

FULL INSPECTION REPORT

10. Built-In Kitchen Appliances

Scope of Inspection: Inspection of kitchen is limited to visible and readily accessible elements. Elements concealed from view or not functional at time of inspection can not be inspected. The inspection of cabinetry is limited to functional unit conditions base on a representative sampling; finishes and hardware issues are not included. **The inspection of appliances is not within the scope of a standard home inspection. Inspector operates appliances only as a courtesy and does NOT guarantee or warranty functionality or adequacy. Icemakers are not inspected.** The evaluating of thermostat controls, timing devices, energy efficiency considerations, cooking or cleaning adequacies, self-cleaning functions, the adequacy of any utility connections, compliance with manufacturer installation instructions, appliance accessories, and full appliance features (i.e.. all cycles, modes, and controls) is excluded.

Note: Operation of all appliances should be confirmed during a pre-closing inspection. Obtain all operating instructions from the owner or manufacturer. Have the home owner demonstrate operation. All cabinetry/counter tops should also be checked prior to closing once all obstacles are removed.

Note: Washer and Dryer if present, may be operated in order to check associated plumbing and electrical components. Testing the washer and dryer **IS NOT WITHIN THE SCOPE OF A HOME INSPECTION**. If you wish to have a detailed inspection of the appliances, hire a licensed appliance mechanic to inspect and report. American Property Inspections is NOT responsible for any operation or function or continued function of appliances.

When conditions for which **ACTION RECOMMENDED** is indicated in this section of the report are not addressed, it may increase the potential for compromising protective features and for damage to and/or accelerated deterioration of kitchen appliance **COMPONENTS**, other exterior and interior **COMPONENTS** as well as for personal injury.



10.1 Dishwasher

Comments: INSPECTED-operational

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10.2 Ranges/Ovens/Cooktops

Comments: INSPECTED-operational



Stove anti tip brackets have been required by the appliance manufacturer association from June of 1991. There is no evidence of an anti tip bracket present at the stove. Recommend installation of bracket to prevent injury.

10.3 Range Hood(s)

Comments: INSPECTED-operational

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10.4 Food Waste Disposer

Comments: INSPECTED-operational



10.5 Refrigerator/Freezer

Comments: INSPECTED-operational



10.6 Built in Microwave

Comments: INSPECTED-operational



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10.7 Ceilings

Comments: INSPECTED

10.8 Flooring

Comments: INSPECTED

10.9 Cabinets

Comments: INSPECTED

10.10 Counter Tops

Comments: INSPECTED

10.11 Mouldings

Comments: INSPECTED

FULL INSPECTION REPORT

11. Bathrooms

Scope of Inspection: The inspection of bathrooms is limited to readily accessible and visible elements. Bathrooms are high use areas containing many elements subject to ongoing wear and periodic malfunction, particularly fixtures and other elements associated with the plumbing system. Normal usage can not be simulated during a stand home inspection. Water flow and drainage evaluations are limited to a visual assessment of functional flow. The function and water tightness of fracture overflows or other internal fixture components generally can not be inspected. A standard home inspection does not include evaluation of ancillary items such as saunas or stem baths.

When conditions for which **ACTION RECOMMENDED** is indicated in this section of the report are not addressed, it may increase the potential for compromising protective features and for damage to and/or accelerated deterioration of kitchen appliance **COMPONENTS**, other exterior and interior **COMPONENTS** as well as for personal injury.

11.1 Ceilings

Comments: INSPECTED

11.2 Walls

Comments: INSPECTED

11.3 Floors

Comments: INSPECTED

11.4 Mouldings

Comments: INSPECTED

11.5 Shower/Tub Walls/Enclosure

Comments: INSPECTED

11.6 Water Closet/Supply Line

Comments: INSPECTED-defective

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Water closet is loose at floor in guest bathroom. Requires repair.

11.7 Vanity/Counter Top

Comments: INSPECTED

11.8 Sink/Faucets/Stopper

Comments: INSPECTED

11.9 Sink Plumbing

Comments: INSPECTED

11.10 Ventilation

Comments: INSPECTED

11.11 Lighting

Comments: INSPECTED



General Summary

American Property Inspections

Phone: 352-429-7062
www.AmericanPropertyInspectionsFL.com
email: info@AmericanPropertyInspectionsFL.com

The following defects or repair notes are listed in this section for your convenience.

“Minor or Major” categories are not relative to dollars and cents but are referred to as the complexity or scope of the repair. Items listed in the “Maintenance” category should be explored and reviewed as ongoing tasks that will need to be performed by the homeowner or may have very little to no repair needed. Items listed in the “Safety” category should be addressed immediately.

It is outside the scope of a home inspection to identify the costs of repairs.

Therefore, it is the responsibility of the buyer to have ALL defects reviewed by a licensed contractor and/or to receive further evaluation or a quote for repair BEFORE you close on the property.

It is highly recommended to purchase a home warranty if appliances are at or beyond their life expectancies. Please see flyer at last page of report

Repair Action Recommended

(Major in nature or more complex to repair)

Repair Action Recommended

(Minor in nature or less complex to repair)

1. Roofing

1.1 ROOF COVERINGS

- Seams have deteriorated/damaged at rear metal roof over porch. This will allow water intrusions, water marks are visible at rear porch ceiling . Requires repair by a licensed roofer.
- Debris and tree branches on roof at rear right. Requires removal.
- Gap is not present between roof and lower portion of wall at front. There should be gap of at least 1 1/2 inches between the bottom of the exterior wall covering material and the top of the roof covering material to prevent water intrusion and/or decay of wall material.

1.4 ROOF DRAINAGE SYSTEMS (GUTTERS AND DOWNSPOUTS)

- Downspout return is missing or damaged located at front left corner. Requires repair or replacement.

2. Exterior

2.1 WALL CLADDING, FLASHING AND TRIM

- Wood decay is present on siding and fascia at rear right. Wood decay is a species of fungus that digests moist wood, causing it to rot. All decayed wood requires replacement with new wood. Water and moisture damage may be present in walls or structures that are not visible to the inspector without further intrusional inspections.
- Kick out flashing is not present at rear right. Kick outs redirect water away from flashing's, stucco and siding eliminating possible water intrusion or wear of the stucco or siding. Recommend they be installed in this location.

2.3 WINDOWS

- Window does not have screen present at right. Requires installation of screen to prevent insect intrusions.

2.4 PORCHES, DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PATIO/COVER AND APPLICABLE RAILINGS

- Door closer is missing at rear porch door. Recommend installation.

2.6 EAVES, SOFFITS AND FASCIAS

- Gap is present at left side eave. This may allow rodent and insect intrusions. Recommend sealing areas.

2.8 IRRIGATION SYSTEM

- Irrigation did not respond to controller. Requires further investigation and/or repair by a licensed irrigation contractor.

3. Electrical System

3.5 CONNECTED DEVICES AND FIXTURES

- Fan/light did not operate using remote control in primary bedroom. Possible dead battery at remote. Recommend further evaluation by a licensed electrician.

4. Garage

4.4 GARAGE DOOR(S)

- Overhead door is damaged at top middle. Requires repair/replacement.

4.7 GARAGE DOOR SENSORS

- Door sensors are not mounted at a proper height. Door sensors should be relocated between 4-6" from floor level.

5. Interiors

5.5 DOORS

- Rear guest bathroom door to rear porch rubs on jamb. Requires repair.

6. Plumbing System

6.3 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

- Pressure relief valve (PRV) is not plumbed to the floor or drip pan. A heat tolerate piping material is required to be installed from the prv to the floor or drip pan within 4 inches, to prevent damage or injury. Requires repair by a licensed plumber.

9. Heating / Cooling

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9.4 DISTRIBUTION SYSTEMS (DUCTS)

- Hvac duct in attic, next to access in garage is in worn condition. Requires repair or replacement by a licensed hvac contractor.

9.6 COOLING AND AIR HANDLER EQUIPMENT

- Air handler has possible mold growth on duct work. Recommend mold remediation in this area and resealing of ductwork.

11. Bathrooms

11.6 WATER CLOSET/SUPPLY LINE

- Water closet is loose at floor in guest bathroom. Requires repair.

**Maintenance, Monitoring or Further Evaluation
is Recommended**

1. Roofing

1.4 ROOF DRAINAGE SYSTEMS (GUTTERS AND DOWNSPOUTS)

- Gutters are full of debris at rear. Requires cleaning of gutters to ensure proper drainage.

2. Exterior

2.5 DRIVEWAYS, VEGETATION, GRADING, WALKWAYS

- Settling cracks are present in driveway. These cracks are not considered structural. Sealing cracks may be a viable option to preventing any type of possible water intrusions.

5. Interiors

5.9 OTHER

- Note: Inspector could not examine operation of washer and dryer. Appliances were not connected at time of inspection.

6. Plumbing System

6.3 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

- Based on the manufacturer's suggested service life, the life expectancy of a water heater is 6 to 10 years. That varies with the location and design of the unit, quality of installation, maintenance schedule and water quality. In addition, water heaters that are older than 10 years of age may not be insurable. If a water heater is older than 10 years it is recommended to have them replaced.

6.5 OTHER

- Note: It appears that several hose bibs at exterior have been abandoned. Possibly due to entire home re pipe. Recommend further evaluation by a licensed plumber.

Safety Concerns **(should be addressed immediately)**

6. Plumbing System

6.3 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

- Pressure relief valve (PRV) is not plumbed to the floor or drip pan. A heat tolerate piping material is required to be installed from the prv to the floor or drip pan within 4 inches, to prevent damage or injury. Requires repair by a licensed plumber.

10. Built-In Kitchen Appliances

10.2 RANGES/OVENS/COOKTOPS

- Stove anti tip brackets have been required by the appliance manufacturer association from June of 1991. There is no evidence of an anti tip bracket present at the stove. Recommend installation of bracket to prevent injury.

HOME INSPECTION REPORT GLOSSARY©

For the purposes of this Inspection and Inspection Report, the terms listed below in this section are defined as follows. When any of these terms appear in the Inspection Report or this glossary, they will be in bold and all capitalized text, in color, in italics, or otherwise highlighted.

ACTION RECOMMENDED: (Regarding **ADVERSE CONDITIONS** documented in the report) It is strongly recommended that further examination and any necessary modifications or corrective measures be performed by a **QUALIFIED** individual, technician, or contractor **as soon as possible**. If such examination reveals other **ADVERSE CONDITIONS** for which modifications or corrective measures are also deemed necessary, it is recommended that they be addressed by a **QUALIFIED** individual at that time.¹

ADVERSE CONDITION: A condition which is producing or which has the potential to produce a detrimental effect on a **SYSTEM** or **COMPONENT**, impairing its **NORMALLY INTENDED FUNCTION OR OPERATION**, or which is **ATYPICAL**.¹

ATYPICAL(LY): With regard to **ADVERSE CONDITIONS** in **SYSTEMS** and **COMPONENTS**: Not typical, not conforming to the type; irregular; abnormal, and/or not consistent with applicable **GENERALLY ESTABLISHED PRACTICES**.

COMPONENT: A constituent element or part of a **SYSTEM**. With regard to this definition, **COMPONENT** means and refers only to a **PERMANENT COMPONENT**.

DESCRIBE: To document in writing.

EXAMINE(D): To visually assess the condition of specific **READILY ACCESSIBLE SYSTEMS** and **COMPONENTS** of a home in accordance with the contractual scope of inspection.

GENERALLY ESTABLISHED PRACTICES: Of or pertaining to any one or more of the following: the historically/ conventionally applied and acknowledged methods of installation, assembly, and operation/use of residential systems and their related materials and components. Such practices can vary based on those which were applicable when modifications to the property were made subsequent to original construction.

HOME INSPECTION: The process by which the **READILY ACCESSIBLE SYSTEMS** and **COMPONENTS** of a home are **EXAMINED** for **ADVERSE CONDITIONS** in accordance with the contractual scope of inspection.

IDENTIFY: To **DESCRIBE** a specific **SYSTEM** or **COMPONENT** by its type and to distinguish it by characteristics such as general or specific material(s), energy source(s), etc. which differentiate that **SYSTEM** or **COMPONENT** from other similar **SYSTEMS** or **COMPONENTS**.

IMPROPER: Not consistent with applicable **GENERALLY ESTABLISHED PRACTICES**.

INSPECTED: The **SYSTEM** or **COMPONENT** was **EXAMINED** and no **ADVERSE CONDITIONS** were observed.

NORMALLY INTENDED FUNCTION AND/OR OPERATION: The customary and conventional purpose or use for which a **SYSTEM** or? **COMPONENT** was installed and for which it was designed and intended by its manufacturer.

NORMAL OPERATING CONTROLS: Thermostats, switches, valves, and other devices intended by design and manufacture to be used by homeowners or occupants in the normal and regular day-to-day operation of **SYSTEMS** or **COMPONENTS**.²

NOT APPLICABLE: The specified **SYSTEM** or? **COMPONENT** was not present or it was outside the contractual scope of an inspection. **Potential** costs which may be associated with additional examination of any **ADVERSE CONDITION** or with any modifications or corrective measures which may be deemed necessary to address an **ADVERSE CONDITION** are **not** factors and are not considered in the decision to indicate **ACTION RECOMMENDED** for any **ADVERSE CONDITION** documented in the report. **Specifically excluded are " ON-OFF" handles on non-GFCI and AFCI type circuit breakers, "bear claw/knife blade" type switches, any panel board service disconnection devices, and removal of fuses.**

NOT EXAMINED: The specified **SYSTEM** or **COMPONENT** was not visually **EXAMINED** because it was not **READILY ACCESSIBLE** due to weather, landscaping, personal property, pets, factors beyond the inspector's control, and/or factors beyond the

American Property Inspections

contractual scope of the inspection. When the Inspection Report indicates that a specific **SYSTEM** or **COMPONENT** was **NOT EXAMINED**, the Inspection Report will also indicate the specific reason.

PERMANENT: Designed or intended to remain where originally placed; not easily moved; attached, connected, or set in place for use such that moving or removal requires the use of tools or equipment.

QUALIFIED: Having the training, skills, knowledge, expertise, and experience necessary to competently address **ADVERSE CONDITIONS** in **SYSTEMS** and? **COMPONENTS** and, where applicable, holding all required licenses and meeting all applicable governmental and statutory requirements.

READILY ACCESSIBLE: In the sole determination of the inspector, visually observable and able to be **EXAMINED** without requiring destructive measures; without risk to the inspector or others; without risk of damage to any item of personal or real property; without requiring the inspector to move, remove, damage, or disturb any wall, floor, ceiling, or window coverings; or any interior or exterior cladding's or finish treatments; to move, remove, damage, disturb, climb upon, climb over, or straddle any item of personal property; to move, remove, damage, or disturb any landscape elements; or to interrupt the business of occupants, and not requiring disassembly or the use of any special protective clothing or special tools or equipment.³

ROUTINE MAINTENANCE: Requiring minor and typical maintenance by a **QUALIFIED** individual. It is recommended that all **ROUTINE MAINTENANCE** conditions be addressed before additional wear and tear or deterioration occurs. After addressing **ROUTINE MAINTENANCE** conditions it is recommended that **COMPONENTS** associated with such conditions be periodically evaluated as part of an ongoing, prudent overall property and building **SYSTEMS** maintenance program. If desired, optional modification or upgrading of existing **SYSTEMS** or **COMPONENTS** may also be considered when such work is performed.

SYSTEM: A group of interacting, interrelated, or interdependent **COMPONENTS** historically and conventionally designed and intended to perform one or more specific functions. With regard to this definition, **SYSTEM** means and refers only to a **PERMANENT SYSTEM**.

This definition applies to the contractual scope of inspection including the inspection of roof covering **COMPONENTS**, the **COMPONENTS** of other **SYSTEMS** which are installed on roofs, attics, and the interiors of electrical **SYSTEM** main distribution panels and sub panels with the following exceptions:

1. When, in the sole determination of the inspector, roofs are **READILY ACCESSIBLE**, an inspector may choose to use a ladder or other means to **EXAMINE** roof covering **COMPONENTS** and/or the **COMPONENTS** of other **SYSTEMS** which are installed on roofs. The report will indicate the means used to examine roofs and attics as well as any general areas of roofs and attics which were not examined and the reason such areas were not examined.
2. When, in the sole determination of the inspector, electrical service main distribution panels or subpanels and their related dead front covers and fasteners are **READILY ACCESSIBLE**, the inspector will remove the dead front covers of such panels in order to? **EXAMINE READILY ACCESSIBLE COMPONENTS** installed on their interiors. Use of tools to remove dead front covers is specifically excluded when dead front covers or their fasteners are painted or otherwise sealed into place and/or when they cannot be removed with a standard, non-power-assisted slot head or Phillips head screwdriver or hex head nut driver.

Inspector Protection Plan COMPLIMENTARY 90-Day Limited Warranty

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Home Warranty of the Midwest, Inc.



4 Steps to a Good Claim Experience

Follow these steps to have the smoothest claim experience possible and increase the chances that a claim will be approved.



Schedule a home inspection and address the items marked as needing further review, repair or replacement. Prioritizing the most serious item(s) first.



Perform routine maintenance on your equipment to better ensure good working order. This can include (but is not limited to) changing furnace filters and scheduling annual furnace and A/C check-ups.



Contact us BEFORE service work begins. Call us 24/7 at (877) 977-4949 or visit homewarrantyinc.com (click Request Repair). **Service performed without prior approval from Home Warranty may invalidate your coverage!**



Choose your technician. If you don't have a technician preference, contact us and we will refer you to a preferred service provider if we have one in your area.

Visit homewarrantyinc.com/IPC.html to review all Inspector Protection Plan terms and conditions for coverage, limitations, and exclusions.



**Scan now to activate
your COMPLIMENTARY
90-Day Limited Warranty!**

<https://fs7.formsite.com/homewarrantyinc/american-property/index>

This 90-day warranty agreement is serviced and underwritten by Home Warranty of the Midwest, Inc. and is complimentary through your home inspector as a part of your paid and completed home inspection.



IPP-02/06/2023

PLEASE NOTE: YOU MUST ACTIVATE YOUR WARRANTY WITHIN TWO WEEKS OF THE INSPECTION. Once you fill out the warranty activation page, a representative affiliated with the warranty company will contact you to complete the

warranty activation process. Your warranty is not active until you verbally confirm your warranty activation.